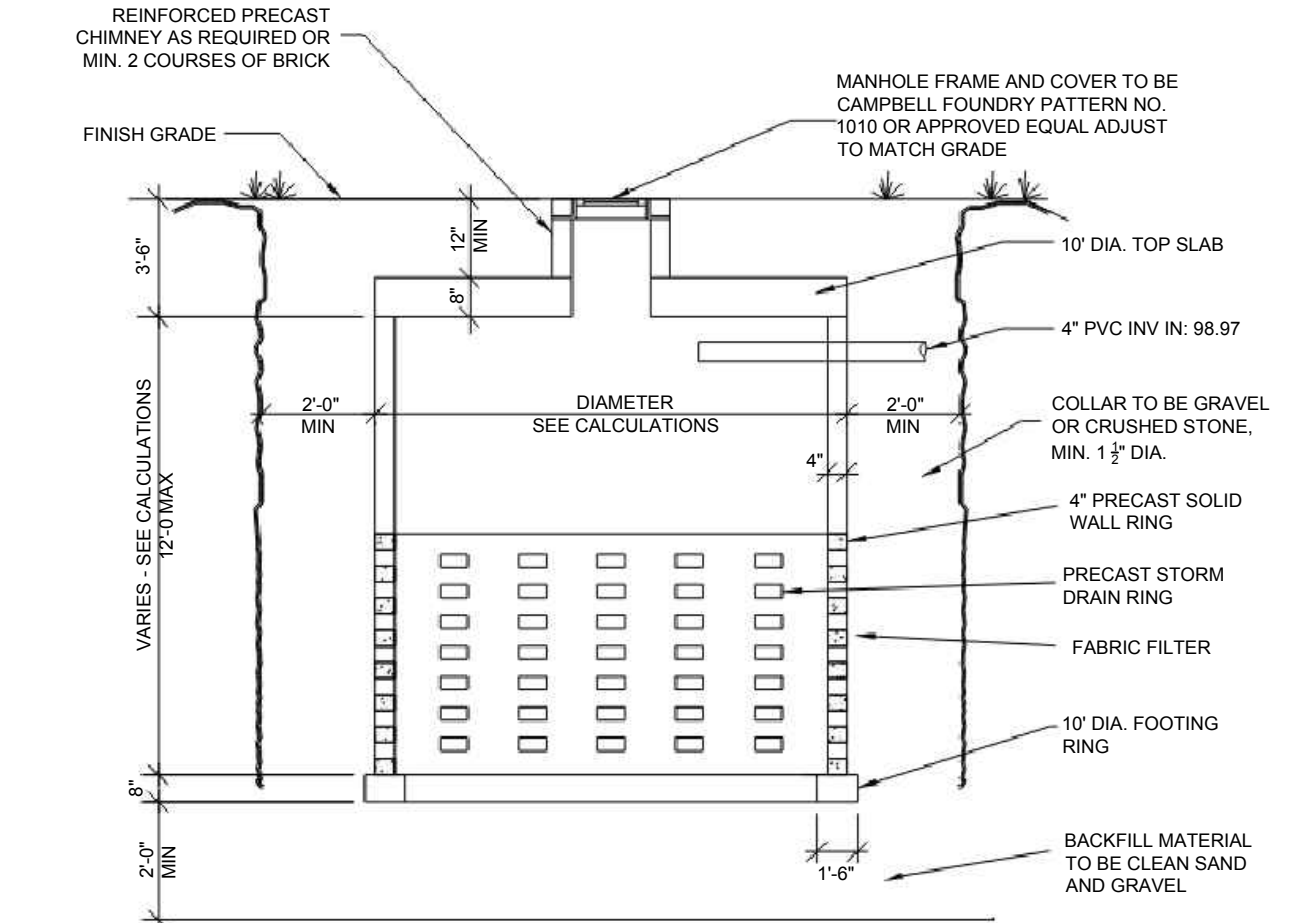


GENERAL NOTES:

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN ENTITLED "SURVEY OF PROPERTY" AS PROVIDED BY PARKER ENGINEERING AND SURVEYING P.C. DATED 02/17/2020.
- THE VERTICAL DATUM FOR THIS PROJECT REFERENCES NAVD88. HORIZONTAL DATUM REFERENCES NAVD83.
- THESE PLANS REPRESENT OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE WORK TO BE PERFORMED IS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE PROJECT CONTRACT SPECIFICATIONS, IF ANY. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT ALL SPECIFIC SITE DETAILS OF INSTALLATION REQUIRED FOR SITEWORK CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES A TOPOGRAPHIC SURVEY OF ALL AREAS THE CONTRACTOR REQUIRES ADDITIONAL TOPOGRAPHIC INFORMATION, ANY CONDITIONS THAT DIFFER FROM THE SURVEY SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER PRIOR TO THE START OF WORK.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL REVIEW ALL PLANS, PROFILES AND ANY INFORMATION/DATE TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER PRIOR TO THE START OF WORK.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
- NOTIFY BOROUGH OF WATCHUNG ENGINEERING DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF ANY WORK.
- ANY DAMAGED CURBS ALONG PROPERTY FRONTAGE ARE TO BE REPAIRED OR REPLACED IN KIND.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BOROUGH'S ENGINEERING DEPARTMENT STANDARD CONSTRUCTION DETAILS.
- ALL IMPORTED SOILS MUST MEET DEP REQUIREMENTS FOR RESIDENTIAL SOIL PRIOR TO PLACEMENT ON CONSTRUCTION SITE.
- ALL RETAINING WALL BACKFILL MUST MEET THE REQUIREMENTS SET FORTH BY THE STRUCTURAL ENGINEER.
- NO DIVING SIGNS ARE TO BE INSTALLED AROUND POOL.

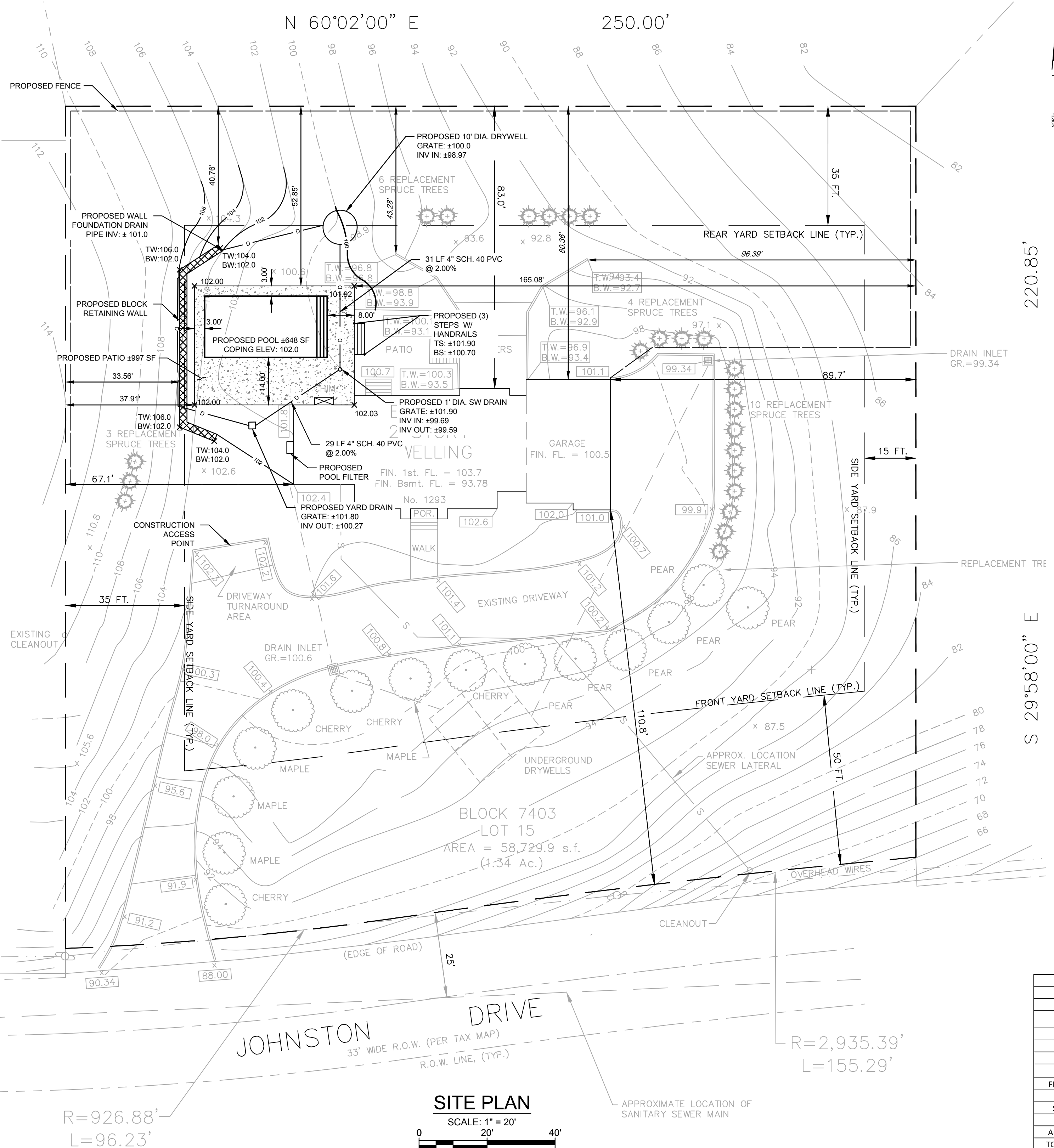
POOL NOTES:

- THE POOL IS TO BE SECURED BY A MINIMUM 4' FENCE WITH SELF-LATCHING AND CLOSING GATES BY THE PROPERTY OWNER. EXISTING AND PROPOSED FENCE AND ALL OTHER CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS). ALL FENCES USED TO SECURE THE POOL SHALL BE OWNED BY THE PROPERTY OWNER UNLESS EXPRESS WRITTEN WAIVER IS PROVIDED BY THE BOROUGH. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND THEIR FENCE CONTRACTOR TO ENSURE THE FENCE COMPLIES WITH ALL REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES FROM DAMAGE AND/OR FAILURE BY ACCEPTABLE METHODS, AS MAY BE REQUIRED BY OSHA OR OTHER REGULATORY AGENCIES.
- THE POOL CONTRACTOR AND PROPERTY OWNER SHALL VERIFY THE POOL LAYOUT AND ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- THE PROPERTY OWNER IS RESPONSIBLE FOR ANY NECESSARY ENVIRONMENTAL PERMITS.



DRYWELL DETAIL
SCALE: NTS

NOTES:
1. BASIS OF DESIGN IS PRECAST CONCRETE SALES CO. 10'-0" DIA. CLASSIC DESIGN.
2. INFILTRATION TESTING TO BE PERFORMED PRIOR TO DRYWELL INSTALLATION. CONTRACTOR TO COORDINATE WITH THE BOROUGH OF WATCHUNG TO ENSURE A REPRESENTATIVE IS PRESENT.
3. ESTIMATED INFILTRATION RATE AT DRYWELL IS 0.225 IN/HR, BASED ON INFORMATION OBTAINED FROM THE WEB SOIL SURVEY WEBSITE.



DRYWELL CALCULATION

AREA (POOL AND PATIO) = 1639.99 SF
RUNOFF GENERATED = 456.46 CF (3.34IN OF RAINFALL FOR 2 YEAR 24 HR STORM)

USE DRYWELL: 10'-0" OUTSIDE DIA./ 9'-4" INSIDE DIA.
5'-0" DEEP TOTAL INSIDE
4'-4" DEEP BELOW INVERT

STORAGE VOLUME $V = nR^2 \times \text{DEPTH}$
 $V = (3.14)(4.66)^2 (4.33) = 295.25 \text{ CF}$

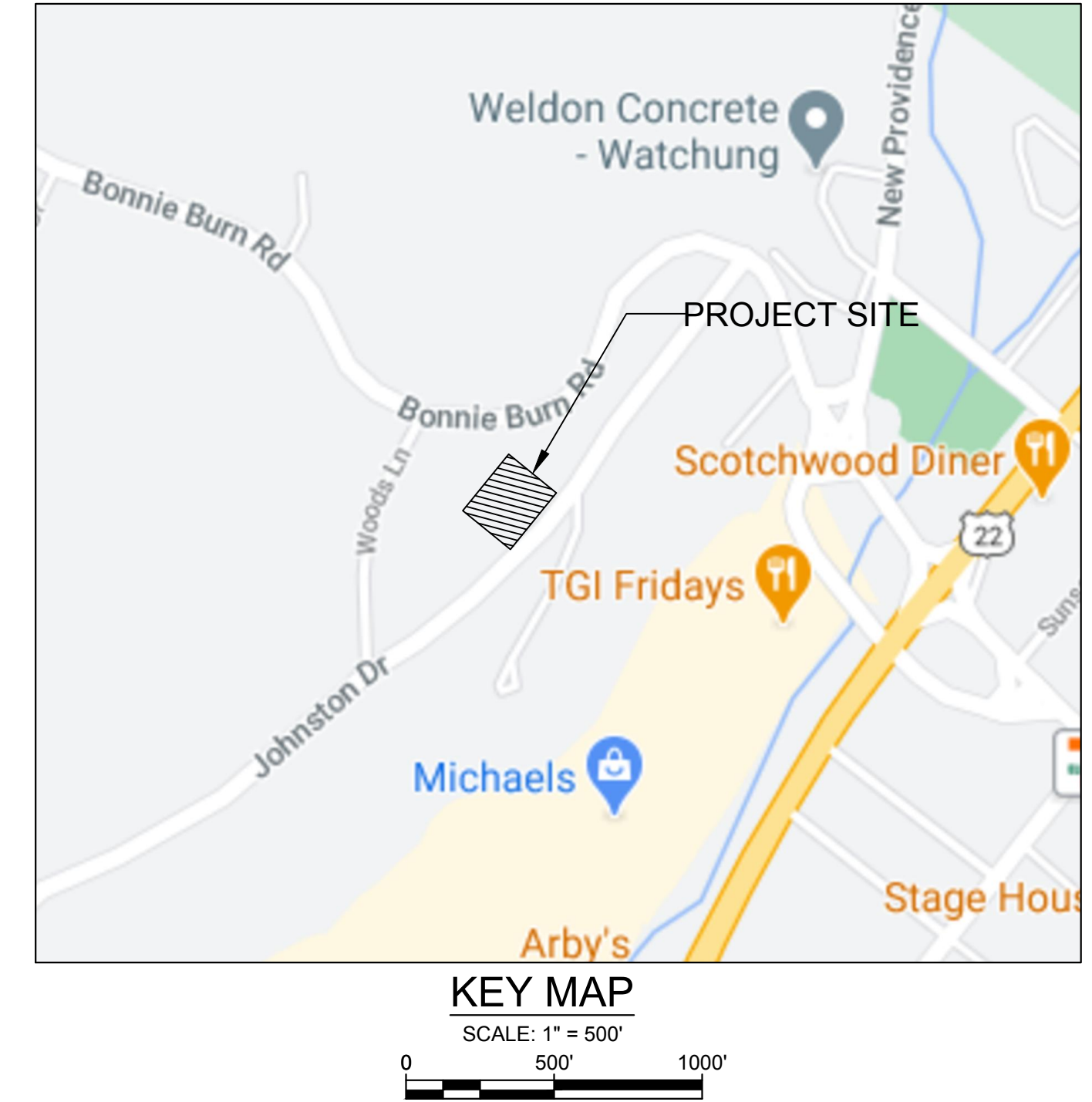
VOLUME OF 2' STONE AROUND DRYWELL (ASSUME 40% VOIDS)
 $V = [(7')^2n - (5')^2n](4.33)(40\%) = 130.59 \text{ CF}$

VOLUME OF 2' STONE AT BOTTOM (ASSUME 40% VOIDS)
 $V = [(7')^2n](40\%) = 61.57 \text{ CF}$

TOTAL AVAILABLE STORAGE = 487.41 CF PER DRYWELL
REQUIRED DRYWELL STORAGE = 456.46 CF
REQUIRED DRYWELL = 456.46/487.41 = 0.94

USE (1) 10' DIA. DRYWELL

IMPERVIOUS COVERAGE CALCULATION		
SLOPE CATEGORY	MAX. PERMITTED LOT COVERAGE ON SLOPE AREA	LOT COVERAGE (SF)
BACK YARD (CATEGORY 2 SLOPE)	SF OF AREA X 83% X 25%	1,818.20
SIDE YARDS (CATEGORY 3 SLOPE)	SF OF AREA X 63% X 25%	1,204.71
FRONT YARD (CATEGORY 4 SLOPE)	SF OF AREA X 50% X 25%	1,550.88
BUILDING COVERAGE (CATEGORY 1 SLOPE)	SF OF AREA X 100% X 25%	7,437.53
TOTAL PERMITTED LOT COVERAGE		12,011.32



200' OWNERS LIST*

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
6403 10	1236 JOHNSTON DRIVE	2	MULAJ, SAMI & LIRIE 1236 JOHNSTON DRIVE WATCHUNG, NJ 07069
6403 11	1260 JOHNSTON DRIVE	2	ROSE, TYRONE & LISA G 1260 JOHNSTON DRIVE WATCHUNG, NJ 07069
6403 12	1280 JOHNSTON DRIVE	2	LA SCALA, JOHN & LISA 1280 JOHNSTON DRIVE WATCHUNG, NJ 07069
6403 13.01	1304 JOHNSTON DRIVE	2	SHAH, SUNIL & MEHTA, ANJAN, TRUSTEES 1304 JOHNSTON DRIVE WATCHUNG, NJ 07069
6403 13.02	1308 JOHNSTON DRIVE	2	GOODMAN JR EDWARD / PACHT JENNIFER 1308 JOHNSTON DRIVE WATCHUNG, NJ 07069
6403 14	1316 JOHNSTON DRIVE	2	SACHAR, ROBERT 1316 JOHNSTON DRIVE WATCHUNG, NJ 07069
7403 11	205 BONNIE BURN ROAD	2	AGUILAR, JOSE & PAMELA 205 BONNIE BURN ROAD WATCHUNG, NJ 07069
7403 12	219 BONNIE BURN ROAD	2	CARVALHEIRO, DIANA & NICOLAO P 219 BONNIE BURN ROAD WATCHUNG, NJ 07069
7403 14	1273 JOHNSTON DRIVE	2	YU JEFFREY S / CHANG JOSEPHINE Y 1273 JOHNSTON DRIVE WATCHUNG, NJ 07069
7403 16	185 BONNIE BURN ROAD	2	TOSCANO BENJAMIN P / VANBUREN S L 185 BONNIE BURN ROAD WATCHUNG, NJ 07069
7601 6	154 BONNIE BURN ROAD	4A	154 BONNIE BURN ROAD, LLC 141 CENTRAL AVENUE WESTFIELD, NJ 07091

*200' OWNERS LIST PROVIDED BY BOROUGH OF WATCHUNG CLERKS OFFICE ON 12/21/2020.

SCHEDULE OF DISTRICT REGULATIONS				
BLOCK 7403 LOT 15				
ZONE: RR - RURAL SINGLE-FAMILY RESIDENTIAL				
REQUIREMENTS	PERMITTED/REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
MIN. LOT AREA	60,000 SF	58,729.90 SF	58,729.90 SF	ENC
MIN. LOT WIDTH	150 FT	251.52 FT	251.52 FT	C
MIN. LOT DEPTH	200 FT	220.85 FT	220.85 FT	C
LOT FRONTAGE	100 FT	251.52 FT	251.52 FT	C
FRONT YARD SETBACK	50 FT	110.80 FT	110.80 FT	C
REAR SETBACK	35 FT	80.36 FT	80.36 FT	C
SIDE YARD SETBACK	15 FT	67.10 FT	67.10 FT	C
TOTAL SIDE YARDS	50 FT	156.80 FT	156.80 FT	C
ACCESSORY SIDE YARD	10 FT	96.39 FT	33.56 FT	C
TOTAL ACCESSORY SIDE YARDS	20 FT	193.30 FT	129.95 FT	C
ACCESSORY REAR YARD	10 FT	43.28 FT	40.76 FT	C
MAX. BLDG. HEIGHT	35 FT	20 FT	20 FT	C
ACCESSORY BUILDING HEIGHT OUTSIDE BLDG ENVELOPE	12 FT UNDER 400 SF	N/A	N/A	C
BUILDING COVERAGE	15%	5.15%	5.15%	C
MIN. HABITABLE SQUARE FOOTAGE	2,000 SF	2,103.40 SF	2,103.40 SF	C
IMPERVIOUS LOT COVERAGE	20.45%*	18.71%	21.91%	V
ACCESSORY USES (POOL AND WALL)				
MIN. SETBACK	20 FT FROM ALL LOT LINES (POOL) 10 FT FROM ALL LINES (WALL)	N/A	37.91 FT SIDE/52.85 FT REAR (POOL) 33.56 FT SIDE/40.76 REAR (WALL)	C
MAX. REAR YARD COVERAGE (POOL)	75%	N/A	8.00%	C
MAX. HEIGHT (WALL)	4 FT	N/A	4 FT	C

* PER SECTION 28-401.G.1 OF THE BOROUGH OF WATCHUNG MUNICIPAL CODE, THE MAXIMUM PERMITTED LOT COVERAGE IS 12,011 SF (20.45%) DUE TO THE PRESENCE OF STEEP SLOPES.

ENC EXISTING NON-CONFORMING
C CONFORMING
V VARIANCE REQUESTED



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK
NJ CERTIFICATE OF AUTHORIZATION NO. 24G428033300
STEPHEN C. HOYT, PE
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 24G654015
DATE: 03-16-2021

TAYLOR RESIDENCE POOL PROJECT
1293 JOHNSTON DRIVE
WATCHUNG, NEW JERSEY 07069

SITE PLAN

TAYLOR RESIDENCE
1293 JOHNSTON DRIVE
WATCHUNG, NJ 07069

NO.	DATE	REVISIONS	BY
1	2021-03-16	PER BOROUGH ENGINEER COMMENTS	MB

ALL DOCUMENTS PREPARED BY SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	BLTAY20001
DATE	2021-01-29
DRAWING SCALE	AS NOTED
DRAWN BY	MB
APPROVED BY	SH

CS1001
SHEET 1 OF 1

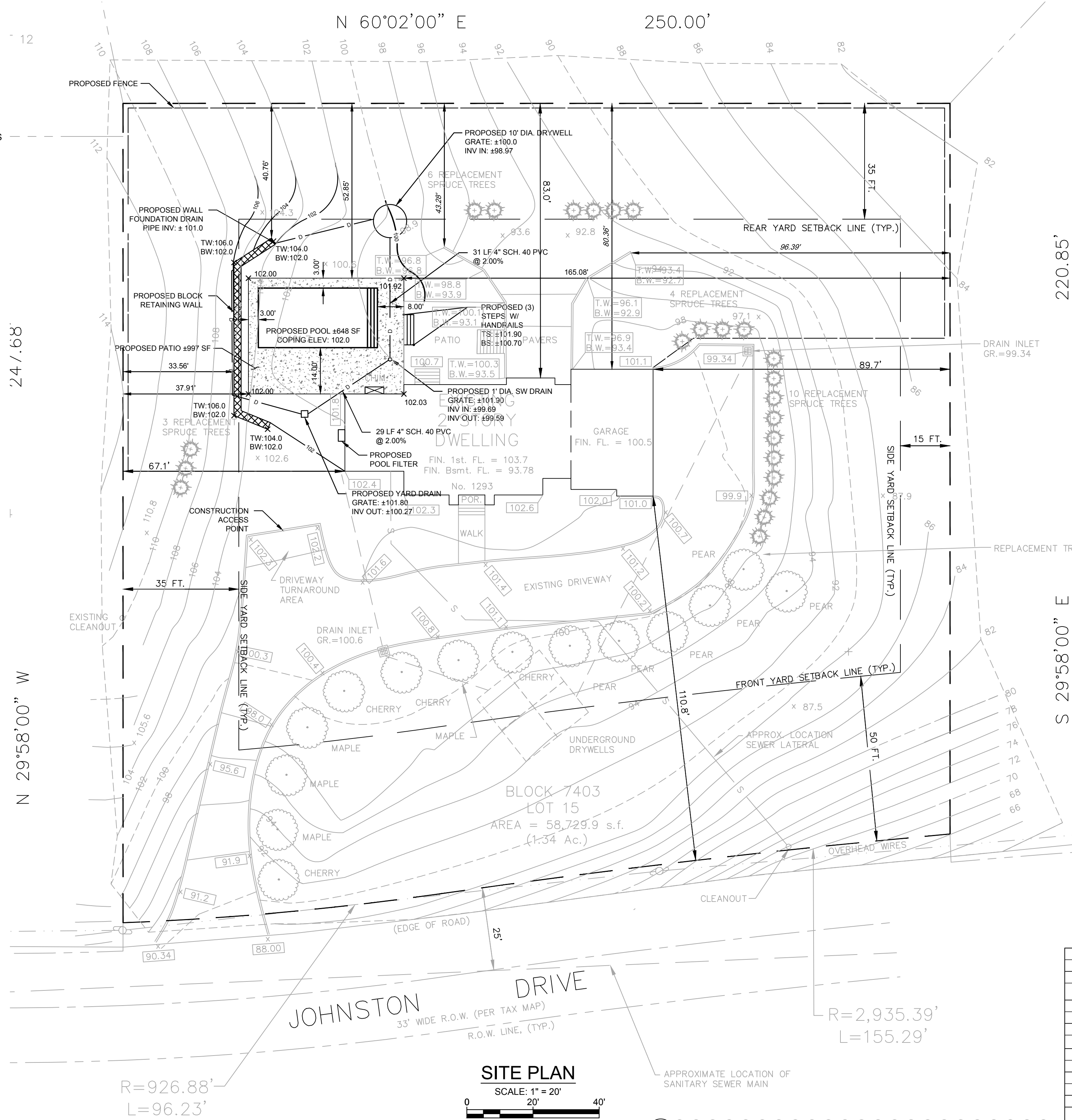
NOT FOR CONSTRUCTION

GENERAL NOTES:

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN ENTITLED "SURVEY OF PROPERTY" AS PROVIDED BY PARKER ENGINEERING AND SURVEYING P.C. DATED 02/17/2020.
- THE VERTICAL DATUM FOR THIS PROJECT REFERENCES NAVD88. HORIZONTAL DATUM REFERENCES NAVD83.
- THESE PLANS REPRESENT OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE WORK TO BE PERFORMED IS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE PROJECT CONTRACT SPECIFICATIONS, IF ANY. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT ALL SPECIFIC SITE DETAILS OF INSTALLATION REQUIRED FOR SITEWORK CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES A TOPOGRAPHIC SURVEY OF ALL AREAS THE CONTRACTOR REQUIRES ADDITIONAL TOPOGRAPHIC INFORMATION, ANY CONDITIONS THAT DIFFER FROM THE SURVEY SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER PRIOR TO THE START OF WORK.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL REVIEW ALL PLANS, PROFILES AND ANY INFORMATION/DATE TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER PRIOR TO THE START OF WORK.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
- NOTIFY BOROUGH OF WATCHUNG ENGINEERING DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF ANY WORK.
- ANY DAMAGED CURBS ALONG PROPERTY FRONTAGE ARE TO BE REPAIRED OR REPLACED IN KIND.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BOROUGH'S ENGINEERING DEPARTMENT STANDARD CONSTRUCTION DETAILS.
- ALL IMPORTED SOILS MUST MEET DEP REQUIREMENTS FOR RESIDENTIAL SOIL PRIOR TO PLACEMENT ON CONSTRUCTION SITE.
- ALL RETAINING WALL BACKFILL MUST MEET THE REQUIREMENTS SET FORTH BY THE STRUCTURAL ENGINEER.
- "NO DIVING" SIGNS ARE TO BE INSTALLED AROUND POOL.

POOL NOTES:

- THE POOL IS TO BE SECURED BY A MINIMUM 4' FENCE WITH SELF-LATCHING AND CLOSING GATES BY THE PROPERTY OWNER. EXISTING AND PROPOSED FENCE AND ALL OTHER CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL SWIMMING POOL AND SPA CODE (ISPS). ALL FENCES USED TO SECURE THE POOL SHALL BE OWNED BY THE PROPERTY OWNER UNLESS EXPRESS WRITTEN WAIVER IS PROVIDED BY THE BOROUGH. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND THEIR FENCE CONTRACTOR TO ENSURE THE FENCE COMPLIES WITH ALL REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES FROM DAMAGE AND/OR FAILURE BY ACCEPTABLE METHODS, AS MAY BE REQUIRED BY OSHA OR OTHER REGULATORY AGENCIES.
- THE POOL CONTRACTOR AND PROPERTY OWNER SHALL VERIFY THE POOL LAYOUT AND ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- THE PROPERTY OWNER IS RESPONSIBLE FOR ANY NECESSARY ENVIRONMENTAL PERMITS.



KEY MAP
SCALE: 1" = 300'

200' OWNERS LIST*

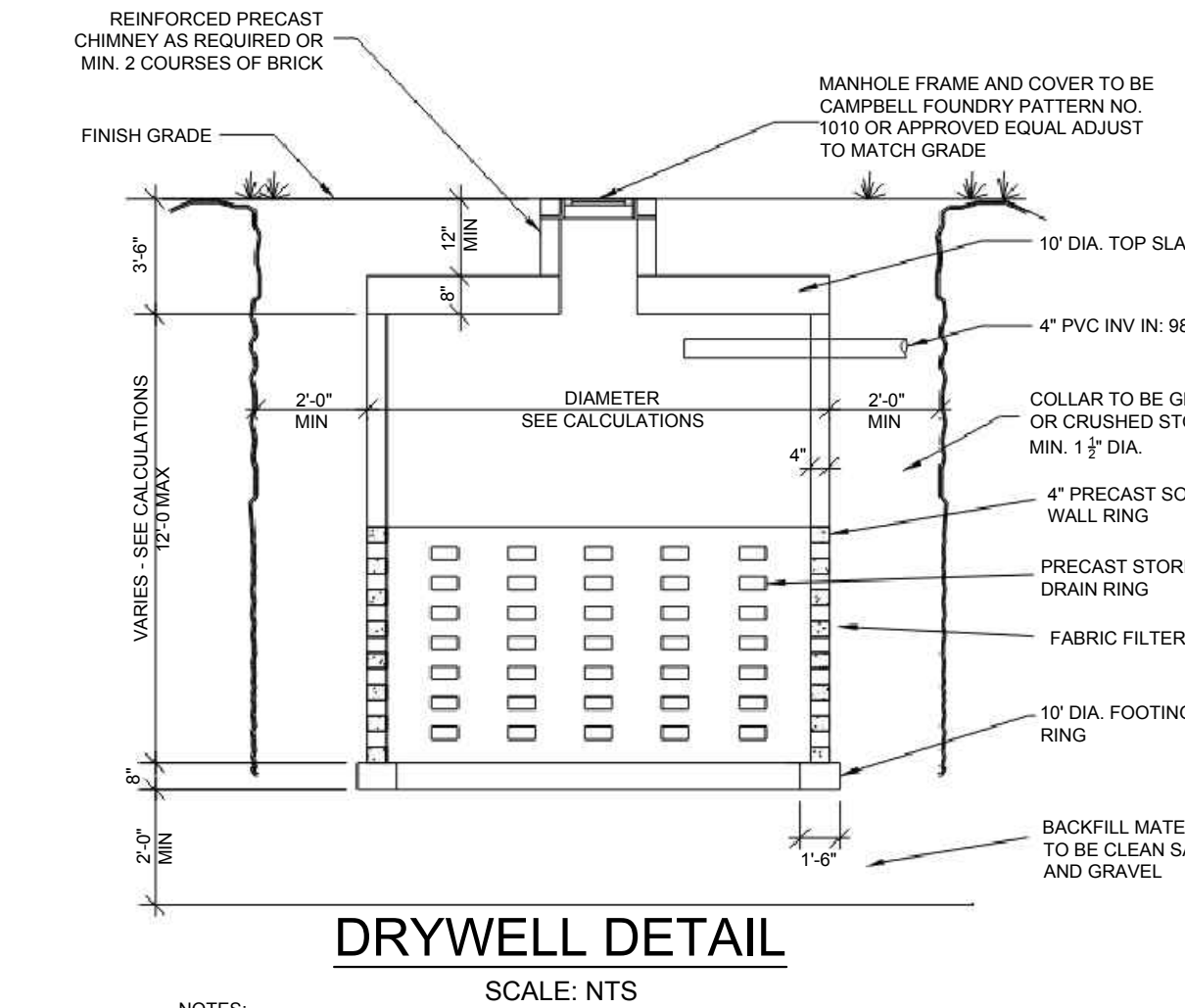
PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
6403 10	1236 JOHNSTON DRIVE	2	MULAJ, SAMI & LIRIE 1236 JOHNSTON DRIVE WATCHUNG, NJ 07069
6403 11	1260 JOHNSTON DRIVE	2	ROSE, TYRONE & LISA G 1260 JOHNSTON DRIVE WATCHUNG NJ 07069
6403 12	1280 JOHNSTON DRIVE	2	LA SCALA, JOHN & LISA 1280 JOHNSTON DRIVE WATCHUNG NJ 07069
6403 13.01	1304 JOHNSTON DRIVE	2	SHAH, SUNIL & MEHTA, ANJAN, TRUSTEES 1304 JOHNSTON DRIVE WATCHUNG, NJ 07069
6403 13.02	1308 JOHNSTON DRIVE	2	GOODMAN JR EDWARD / PACHT JENNIFER 1308 JOHNSTON DRIVE WATCHUNG NJ 07069
6403 14	1316 JOHNSTON DRIVE	2	SACHAR, ROBERT 1316 JOHNSTON DRIVE WATCHUNG NJ 07069
7403 11	205 BONNIE BURN ROAD	2	AGUILAR, JOSE & PAMELA 205 BONNIE BURN ROAD WATCHUNG NJ 07069
7403 12	219 BONNIE BURN ROAD	2	CARVALHEIRO, DIANA & NICOLAO P 219 BONNIE BURN ROAD WATCHUNG, NJ 07069
7403 14	1273 JOHNSTON DRIVE	2	YU JEFFREY S / CHANG JOSEPHINE Y 1273 JOHNSTON DRIVE WATCHUNG NJ 07069
7403 16	185 BONNIE BURN ROAD	2	TOSCANO BENJAMIN P / VANBUREN S L 185 BONNIE BURN ROAD WATCHUNG NJ 07069
7601 6	154 BONNIE BURN ROAD	4A	154 BONNIE BURN ROAD, LLC 141 CENTRAL AVENUE WESTFIELD, NJ 07091

*200' OWNERS LIST PROVIDED BY BOROUGH OF WATCHUNG CLERKS OFFICE ON 12/21/2020.

SCHEDULE OF DISTRICT REGULATIONS				
BLOCK 7403 LOT 15				
ZONE: RR - RURAL SINGLE-FAMILY RESIDENTIAL				
REQUIREMENTS	PERMITTED/REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
MIN. LOT AREA	60,000 SF	58,729.90 SF	58,729.90 SF	ENC
MIN. LOT WIDTH	150 FT	251.52 FT	251.52 FT	C
MIN. LOT DEPTH	200 FT	220.85 FT	220.85 FT	C
LOT FRONTAGE	100 FT	251.52 FT	251.52 FT	C
FRONT YARD SETBACK	50 FT	110.80 FT	110.80 FT	C
REAR SETBACK	35 FT	80.36 FT	80.36 FT	C
SIDE YARD SETBACK	15 FT	67.10 FT	67.10 FT	C
TOTAL SIDE YARDS	50 FT	156.80 FT	156.80 FT	C
ACCESSORY SIDE YARD	10 FT	96.39 FT	33.56 FT	C
TOTAL ACCESSORY SIDE YARDS	20 FT	193.30 FT	129.95 FT	C
ACCESSORY REAR YARD	10 FT	43.28 FT	40.76 FT	C
MAX. BLDG. HEIGHT	35 FT	20 FT	20 FT	C
ACCESSORY BUILDING				C
HEIGHT OUTSIDE BLDG ENVELOPE	12 FT UNDER 400 SF	N/A	N/A	C
BUILDING COVERAGE	15%	5.15%	5.15%	C
MIN. HABITABLE SQUARE FOOTAGE	2,000 SF	2,103.40 SF	2,103.40 SF	C
IMPERVIOUS LOT COVERAGE	19.57%*	18.71%	21.91%	V
ACCESSORY USES (POOL AND WALL)				
MIN. SETBACK	20 FT FROM ALL LOT LINES (POOL) 10 FT FROM ALL LINES (WALL)	N/A	37.91 FT SIDE/52.85 FT REAR (POOL) 33.56 FT SIDE/40.76 REAR (WALL)	C
MAX. REAR YARD COVERAGE (POOL)	75%	N/A	8.00%	C
MAX. HEIGHT (WALL)	4 FT	N/A	4 FT	C

* PER SECTION 28-401.G.1 OF THE BOROUGH OF WATCHUNG MUNICIPAL CODE, THE MAXIMUM PERMITTED LOT COVERAGE IS 11,496 SF (19.57%) DUE TO THE PRESENCE OF STEEP SLOPES.

ENC EXISTING NON-CONFORMING
C CONFORMING
V VARIANCE REQUESTED



DRYWELL DETAIL
SCALE: NTS

DRYWELL CALCULATION

AREA (POOL AND PATIO) = 1639.99 SF
RUNOFF GENERATED = 456.46 CF (3.34IN OF RAINFALL FOR 2 YEAR 24 HR STORM)

USE DRYWELL: 10'-0" OUTSIDE DIA./ 9'-4" INSIDE DIA.
5'-0" DEEP TOTAL INSIDE
4'-4" DEEP BELOW INVERT

STORAGE VOLUME $V = nR^2 \times \text{DEPTH}$
 $V = (3.14)(4.66)^2 (4.33) = 295.25 \text{ CF}$

VOLUME OF 2' STONE AROUND DRYWELL (ASSUME 40% VOIDS)
 $V = [(7')^2 n - (5')^2 n](4.33)(40\%) = 130.59 \text{ CF}$

VOLUME OF 2' STONE AT BOTTOM (ASSUME 40% VOIDS)
 $V = [(7')^2 n](40\%) = 61.57 \text{ CF}$

TOTAL AVAILABLE STORAGE = 487.41 CF PER DRYWELL
REQUIRED DRYWELL STORAGE = 456.46 CF
REQUIRED DRYWELL = $456.46 / 487.41 = 0.94$

USE (1) 10' DIA. DRYWELL

SITE PLAN

SCALE: 1" = 20'

IMPERVIOUS COVERAGE CALCULATION		
SLOPE CATEGORY	MAX. PERMITTED LOT COVERAGE ON SLOPE AREA	LOT COVERAGE (SF)
CATEGORY 1 SLOPE	16,418.70 X 100% X 25%	4,104.63
CATEGORY 2 SLOPE	21,234.44 X 83% X 25%	4,406.11
CATEGORY 3 SLOPE	10,803.48 X 63% X 25%	1,701.51
CATEGORY 4 SLOPE	10,273.28 X 50% X 25%	1,284.14
TOTAL PERMITTED LOT COVERAGE		11,496.39

APPROVALS:

APPROVED BY THE BOROUGH OF WATCHUNG PLANNING BOARD

(PRELIMINARY) (FINAL)

CHAIRMAN DATE

SECRETARY OF THE BOARD DATE

I HAVE CAREFULLY EXAMINED THIS MAP AND THE REQUIRED DIGITAL SUBMISSIONS AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE MUNICIPAL ORDINANCES APPLICABLE THERETO.

BOROUGH ENGINEER DATE

NOT FOR CONSTRUCTION

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
AND OWNER MUST BE NOTIFIED OF ANY
DISCREPANCIES BEFORE PROCEEDING WITH WORK

TAYLOR RESIDENCE POOL PROJECT
1293 JOHNSTON DRIVE
WATCHUNG, NEW JERSEY 07069

SITE PLAN

TAYLOR RESIDENCE
1293 JOHNSTON DRIVE
WATCHUNG, NJ 07069
(973) 893-9806

PROJECT	DATE	DRAWING SCALE	DRAWN BY	APPROVED BY
BLTAY20001	2021-01-29	AS NOTED	MB	SH

REVISIONS	DATE
2	2021-03-30
1	2021-03-16
NO.	

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.